

ADDENDUM NO. 2

Date: November 16, 2021

This Addendum applicable to work designated herein shall be understood to be and is an Addendum and as such shall be part of and included in the Contract.

To all bidders for furnishing all labor and materials necessary for:

**Hobbs Middle School HVAC Replacement
Shelley School District No. 60
Shelley, Idaho**

Failure to acknowledge receipt of this Addendum on the bid proposal form may result in rejection of your bid.

General Items:

1. Add Alternate #1 to be deleted. Scope of work from add alternate #1 now to be included in the base bid. That work consists of demolishing and removing the existing corridor ceilings and installing new ceilings per the revised addendum drawings. Also included are rotating the corridor lights, so all corridor lighting is perpendicular to the flow of traffic. See revised sheets A1.0-A1.4. for corridor lighting orientation and location. Sheet A2.2 to be removed from the bid set.
2. No bids will be accepted by fax or email.
3. Existing floors to remain.
4. School district will remove and reinstall all furniture as needed.

Architectural Items:

1. See revised Sheet A1.0-A1.4
 - a. Refer to clouded changes in the attached sheets.

Mechanical Items:

1. M2.20
ClimaTech is responsible for all conduit and raceways to complete their scope of work. Control conduit and raceways are not provided in the electrical drawings



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2. M2.20 & M6.10
 - All RTU, AHU, and WSHP units must be DDC ready with a terminal strip. ClimaTech to provide complete control of each unit. Manufacturer controls with BACnet integration is not acceptable.
 - ClimaTech to provide all 2-way and 3-way control valves (sized for max 7' head).
 - Mechanical Contractor to provide all control dampers (OSA and RA for each AHU). ClimaTech to provide all control damper actuators sized for
3. M6.10

Approved Manufacturers:

 - RTU: Aaon
 - AHU: Aaon, Climate-Master, York
 - WSHP: Aaon, York
 - Grilles, Registers, Diffusers: Tuttle & Bailey
 - Exhaust Fans: Twin City Fan, Aerovent
4. M6.10

RTU Schedule:

 - Remove factory mounted smoke detector from all RTUs EXCEPT RTU-2 and RTU-24.
 - Add water level detection device per UL 508 that will shut down unit upon primary drain blockage.

WSHP Schedule:

 - Remove factory mounted smoke detector and disconnect.
 - Add UltraQuiet option.

AHU Schedule:

 - Add water level detection device per UL 508 that will shut down unit upon primary drain blockage

Electrical Items:

1. E0.00
 - The first Demolition Requirement note revised to read: For all HVAC units that are being removed and abandoned in place, The school district will disconnect existing HVAC equipment branch circuiting, at the equipment and at panelboards.
 - Fire Alarm notes, under General Requirements, removed. Fire Alarm system modifications will be provided by ownership.
 - Deferred Submittals notes removed.
 - Special Systems note removed from General Requirements->Equipment
 - Adjacent devices note removed from General Requirements->wiring devices
 - Demolition Requirement note revised to read: Provide new conductors, raceways, etc. as required to maintain operation of existing outlets, equipment, etc. which remain or are to be relocated.
 - Add alternate eliminated. Sheet E1.10A removed from Sheet Index.

2. E1.10-E1.13
 - Add alternate eliminated. Sheet E1.10A removed from set. Replacement of corridor ceiling and re-orienting light fixtures is now to be included in the base bid. See architectural updates for light fixture locations.
 - Revised front office Restroom lighting. Removed (2) L2 and added (2) L4 fixtures. See architectural updates for light fixture locations.
 - Revised work room entry corridor lighting to match new lay-in ceiling. Removed (4) L4 and added (2) L2 fixtures. See architectural updates for light fixture locations.
 - All corridor occupancy sensors are to be provided by owner (Shelley School District). EC responsible for installing owner provided devices. See below for revised plan note regarding corridor lighting controls.
 - Plan Note C revised to read: Existing corridor lighting is controlled by local light switches in the space. EC to remove existing switches and provide blank cover plates. Corridor lighting is to be controlled by new occupancy sensors. Occupancy sensor devices are to be provided by ownership. Provide separate occupancy sensing control for each section of corridor. Occupancy sensors shall turn off lighting within 20 Minutes of space being vacated. Corridor sensors shall turn lighting full on upon occupants entering the space.
 - For clarification: Ownership will provide all Use Tax, if required, for the project.
3. E2.12
 - EH-2 added to Locker room. Refer to mechanical for EH-2 location.
4. E2.30
 - REF-14 removed
5. E5.10
 - New panel HB will NOT have a concrete housekeeping pad. Pad removed from Power Riser Diagram.
 - For clarification: the existing MSB switchboard is SquareD
5. E6.10
 - REF-14 removed from panel HB schedule
 - Circuit in panel HA1 for RTU-16 changed to a 45A breaker.
 - Circuit in panel HB for RTU-24 changed to a 35A breaker.
 - Circuit in panel HA1 for RTU-36 changed to a 35A breaker.
6. E6.20
 - General Schedule Notes C and D on Mechanical Equipment Connection Schedule removed.
 - EF-9 control changed from 'wall switch' to 'BMS control. coordinate with MC'.
 - REF-14 removed from MECS
 - The following note has been added to all Water Source Heat Pumps (WSHP's): units provided with condensate pumps. EC to Provide 120v 1-phase 20a branch circuiting from nearest receptacle branch circuit to condensate pump.
 - RTU-16 changed to a 45A MOCP
 - RTU-24 changed to a 35A MOCP

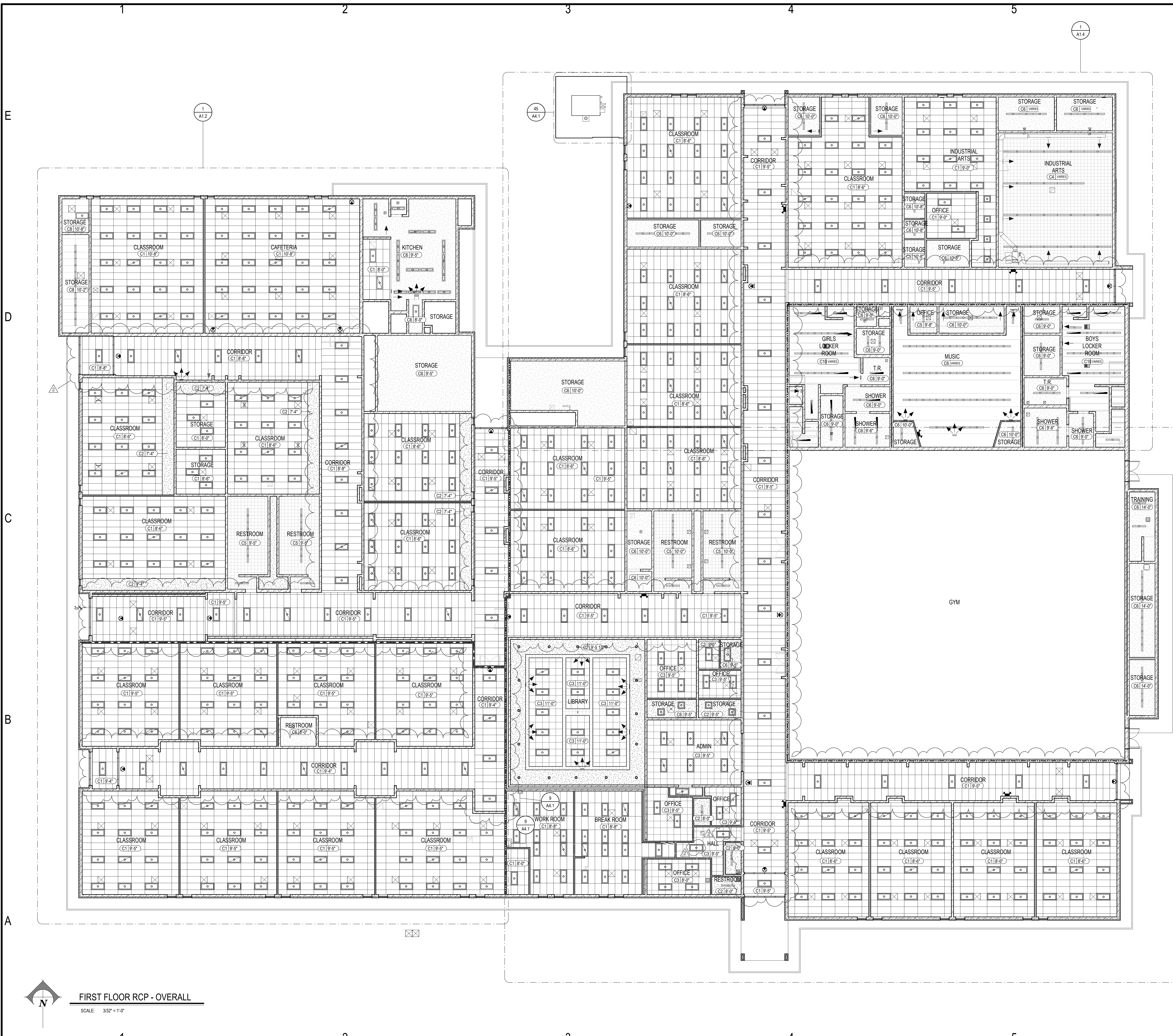
- RTU-36 changed to a 35A MOCP
- The disconnect for all Boilers changed to be '1-POLE SWITCH'.
- The following note has been added to all Boilers: EC to provide electrical connection from auxiliary terminal to detached boiler pump. coordinate installation with manufacturer documentation.

Attachments:

The Addendum consists of: 04 page(s). The attached Documents consist of A1.1, A1.2, A1.3, A1.4

END OF ADDENDUM NO. 2

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CEILING SCHEDULE KEY	
CEILING FINISH:	
C1 NEW 2X4 LAY-IN ACOUSTIC PANEL	C6 EXISTING GYP ON FRAMING/TRUSS
C2 NEW GYP ON FRAMING	C7 EXISTING 2X2 LAY-IN ACOUSTIC PANEL
C3 NEW 2X2 LAY-IN ACOUSTIC PANEL	C8 EXISTING 2X4 LAY-IN ACOUSTIC PANEL
C4 NEW GLUE UP ACOUSTIC TILE	C9 EXISTING 4X4 LAY-IN ACOUSTIC PANEL
C5 EXISTING GLUE UP ACOUSTIC TILE	C10 EXISTING EXPOSED STRUCTURE-PAINTED

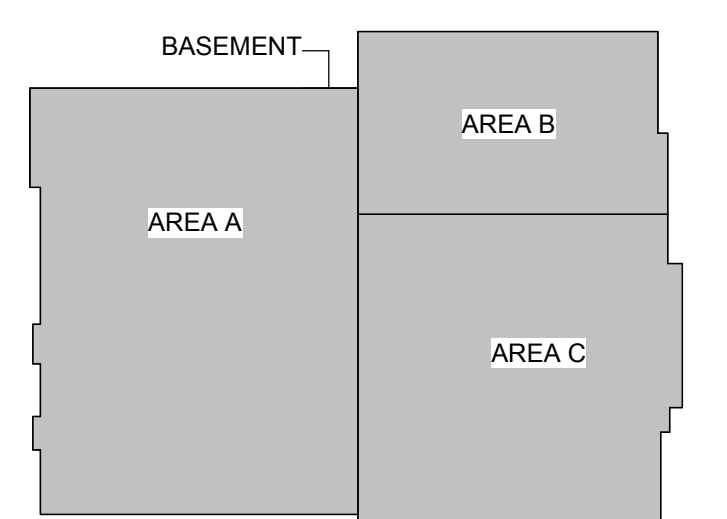
CEILING FIXTURE KEY		
LIGHT FIXTURES	EXIT DEVICES	MECHANICAL FIXTURES

FIREWALL LEGEND	
	3 HOUR FIREWALL
	2 HOUR FIREWALL
	1 HOUR FIREWALL

GENERAL NOTES
1. CONTRACTOR SHALL RESOLVE ALL DIMENSIONAL OR OTHER DISCREPANCIES, DURING LAYOUT WITH ARCHITECT, PRIOR TO BEGINNING CONSTRUCTION.
2. ALL WORK TO BE IN ACCORDANCE WITH ALL CODES & ACCESSIBILITY REQUIREMENTS.
3. CONTRACTOR TO PATCH ANY HOLES IN WALLS AND CEILINGS TO REMAIN, CAUSED BY THE REMOVAL OF ITEMS, FIXTURES, ETC.
4. ALL ROOF PATCHES TO MATCH EXISTING ROOF ASSEMBLY AND MUST MEET EXISTING ROOF WARRANTY GUIDELINES. SEE SHEET A3.2 FOR ROOF WARRANTY MAP.
5. SEE MECHANICAL SHEETS FOR ALL CORING LOCATIONS. ALL CORING TO BE DONE BY GENERAL CONTRACTOR.
6. CONTRACTOR TO VERIFY THAT ANY PENETRATIONS THROUGH A FIREWALL ARE SEALED TO MEET THAT WALLS FIRE RATING.
7. CONTRACTOR TO FIELD VERIFY CRICKET LOCATIONS FOR ROOFTOP MECHANICAL EQUIPMENT.
8. ALL CORRIDOR WALLS 1 HR FIRE RATING UNO. ANY INFILL AT CORRIDOR WALLS NEEDS TO MEET WALL FIRE RATING.
9. PAINT BY OWNER, CONTRACTOR TO MUD, TEXTURE AND TAPE GYPSUM.

FIRST FLOOR RCP - OVERALL

SCALE: 3/32" = 1'-0"



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PROJECT:
HVAC REPLACEMENT FOR:
HOBBS MIDDLE SCHOOL
SHELLEY SCHOOL DISTRICT NO. 60
350 EAST PINE STREET, SHELLEY, IDAHO 83274

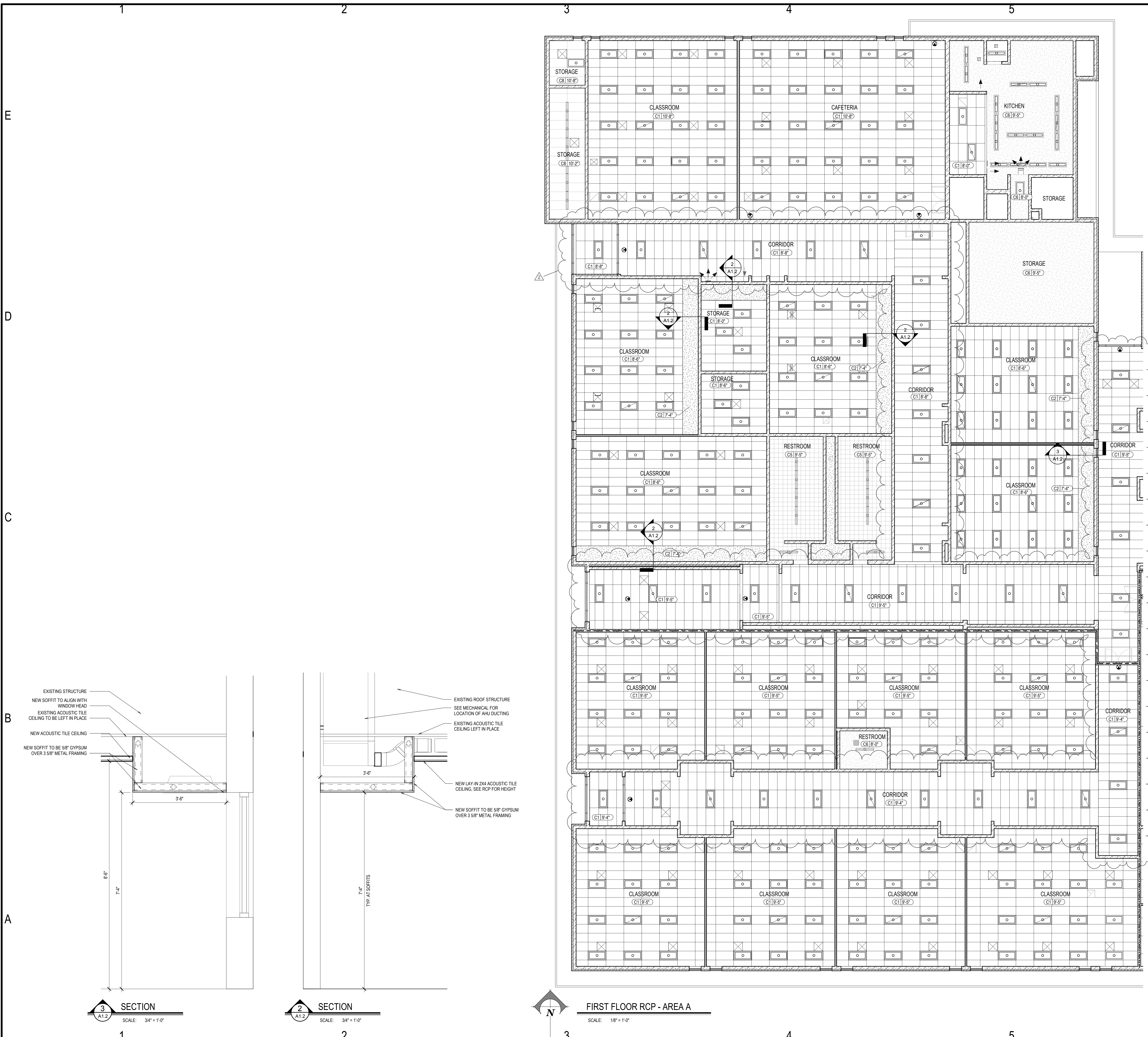
SHEET TITLE:
FIRST FLOOR RCP - OVERALL

REVISIONS	DATE	BY
1	November 2, 2021	NBW

PROJECT NO:
21015
DATE:
NOVEMBER, 2021
DRAWN BY:
NBW
CHECKED BY:
NBW
DRAWING NO.:

A1.1

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CEILING FIXTURE KEY		
LIGHT FIXTURES	EXIT DEVICES	MECHANICAL FIXTURES

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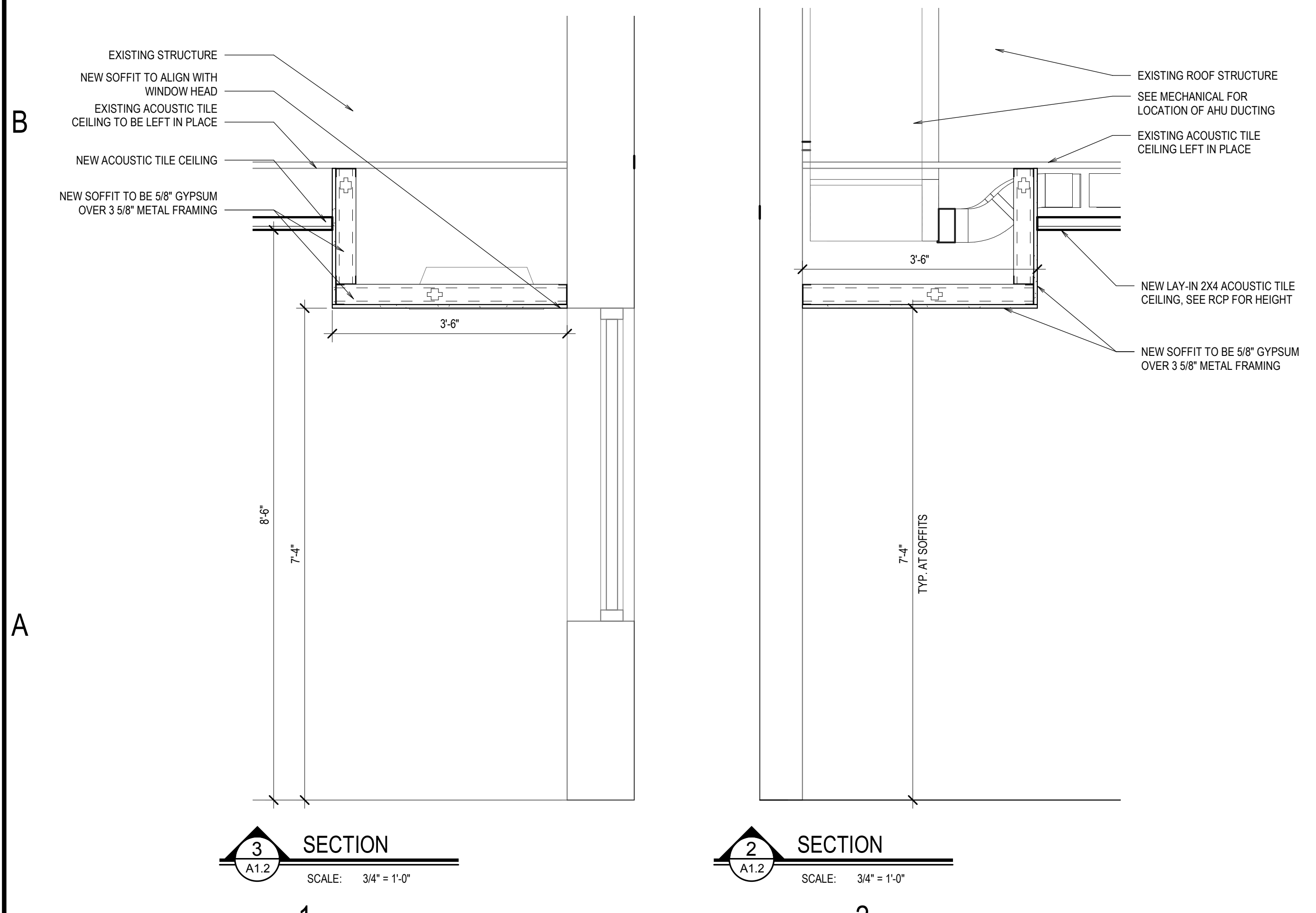
HVAC REPLACEMENT FOR:
HOBBS MIDDLE SCHOOL
 SHELLEY SCHOOL DISTRICT NO. 60
 350 EAST PINE STREET, SHELLEY, IDAHO 83274

PROJECT TITLE: FIRST FLOOR RCP - AREA A

REVISIONS	DATE	BY
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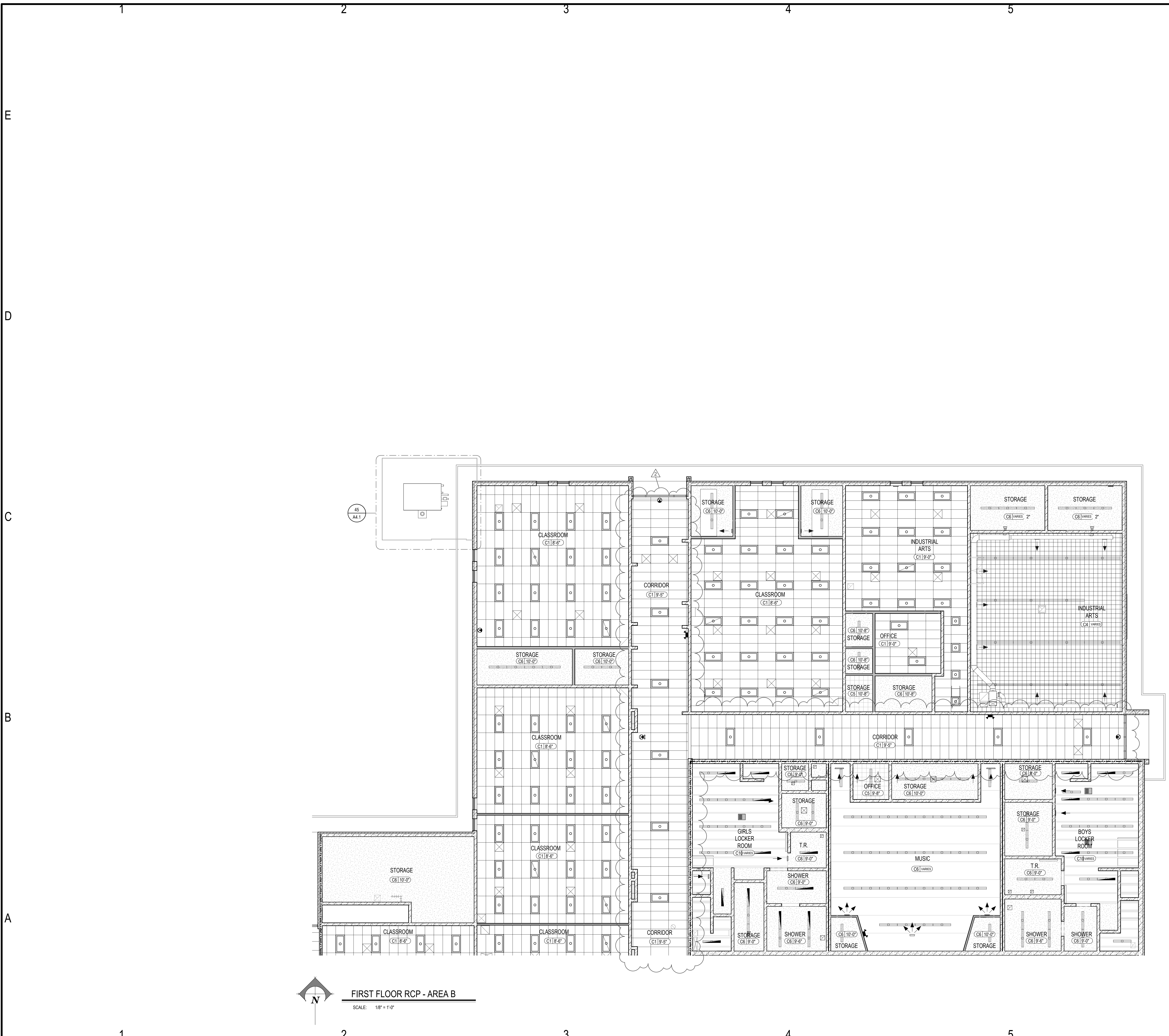
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A1.2



FIRST FLOOR RCP - AREA A
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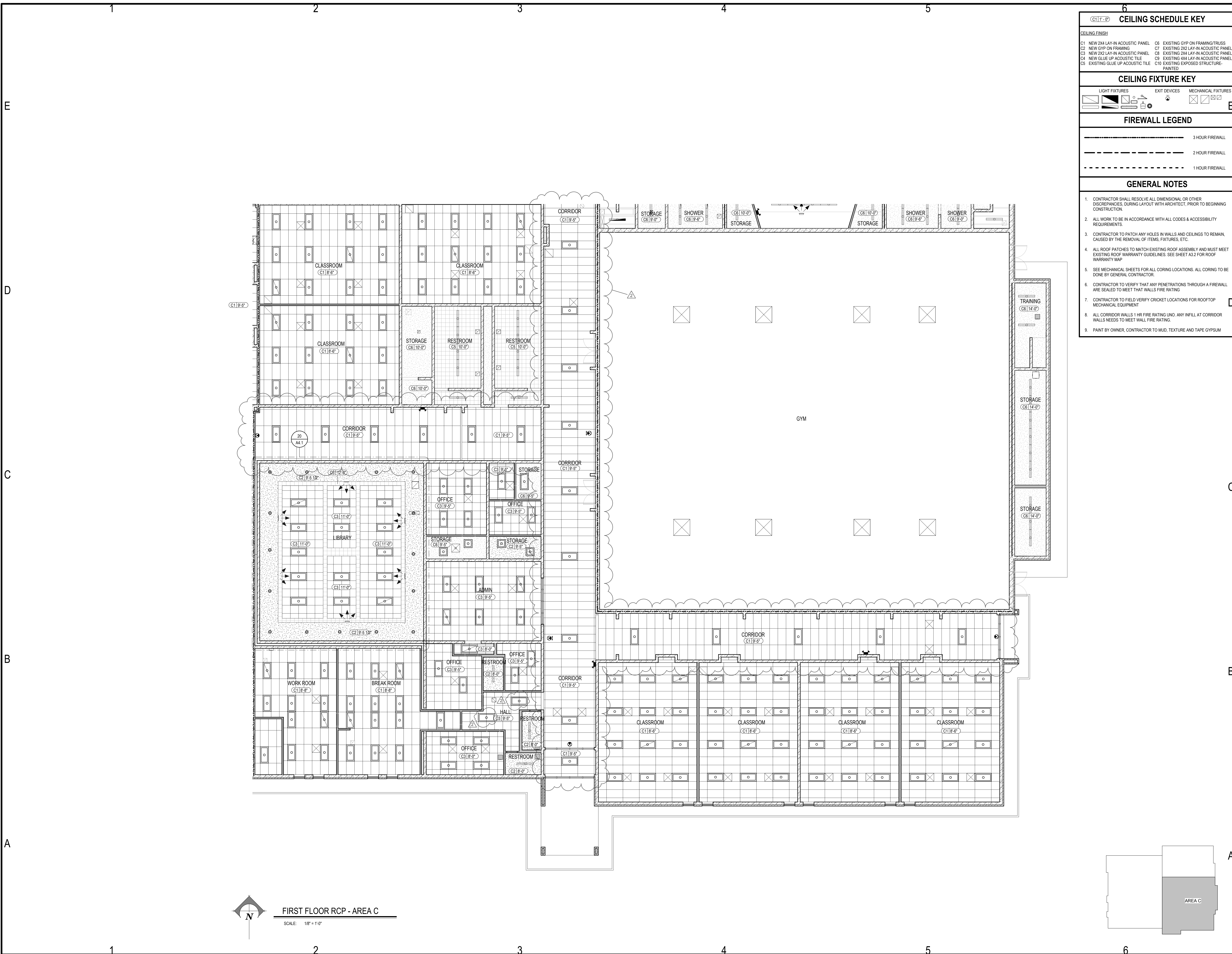
SHEET TITLE:
FIRST FLOOR RCP - AREA B

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NBW
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FIRST FLOOR RCP - AREA C
SCALE: 1/8" = 1'-0"

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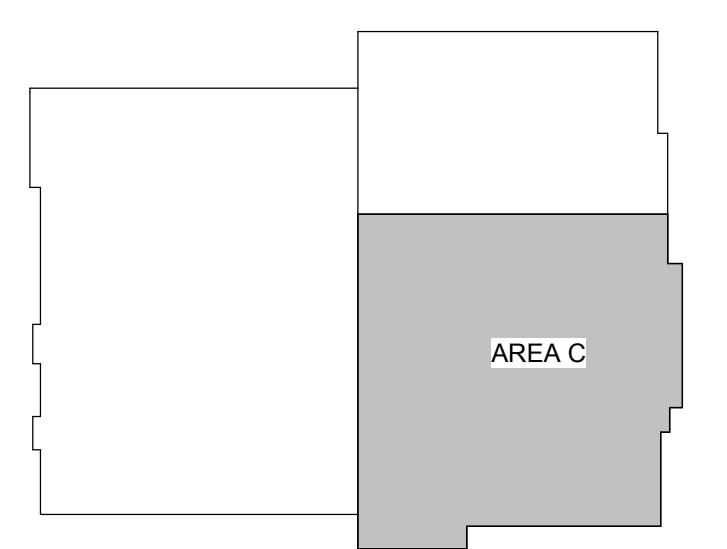
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FIRST FLOOR RCP - AREA C

PROJECT: _____
SHEET TITLE: _____

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1	November 2, 2021	11-15-21

PROJECT NO. 21015
DATE: NOVEMBER, 2021
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