#### **ADDENDUM #1**

Date: October 29, 2021

This Addendum applicable to work designated herein shall be understood to be and is an Addendum and as such shall be part of and included in the Contract.

To all bidders for furnishing all labor and materials necessary for:

## DPW 21239 ISU: PULLING COURTS SIDING AND WINDOW REPLACEMENT POCATELLO, ID NBW#21001

Failure to acknowledge receipt of this Addendum on the bid proposal form may result in rejection of your bid.

Addendum consists of: <u>1 page.</u> Attached Documents consist of – Pre-bid Conference Agenda, Pre-bid Conference Signup Sheet, Sheet G1.0, Sheet A1.1, Sheet A1.2, Sheet A1.3, Sheet A2.1, Sheet A2.2

#### **GENERAL ITEMS**

- 1. The Pre-bid Conference Agenda and Signup Sheet are attached for your records.
- 2. The contractor is to remove all building signage and turn it over to the owner.
- 3. The project is to be phased such that work is occurring on no more than two buildings at a time.
- 4. The laydown area for materials has been identified and is to be located in the back parking lot see attached satellite image.

#### ARCHITECTURAL ITEMS

- 1. Project Manual Section 01 1000 Summary has been replaced see attached.
- 2. The drawing index on Sheet G1.0 has been revised.
- 3. Sheet A1.0 has been added.
- 4. Sheet A1.1, A1.2 and A1.3 Keynote 10 has been added.
- 5. Sheet A2.1 and A2.2 Keynote 14 has been added.

END OF ADDENDUM NO.1



#### **Pre-bid Conference**

#### October 27, 2021 – 11:00am MST DPW 21239 ISU Pulling Courts Siding and Window Replacement

Architect's Project Manager: Nick Hansen Phone – (208) 522-8779 Email – nrh@nbwarchitects.com	Project description: The work of this project can be summarized to include but is not limited to removing and replacing existing wood siding with vinyl siding. Also, to include the replacement of windows with aluminum clad wood double hung windows.	
DPW Project Manager	Idaho State University Representative	
Martin Santoyo	Chris Baker	
Phone - (208) 332-1913	Phone - (208) 282-4572	
	Email - chrisbaker@isu.edu	
DPW Field Rep. Fred Richards Phone – (208) 269-0639	Bid submission date and time: November 16 <sup>th</sup> , 2021 2:00 PM MST	<b>Bid submission location:</b> DPW Field Office, 611 Wilson Avenue, Suite 1, Pocatello, Idaho 83201
Building permit issued by: DBS	Construction Time: 150 Calendar Days	Liquidated damages/ day: \$250.00

#### **Unusual conditions:**

There are COVID 19 protocols in place. Please reference Project Manual Section 01 1000 1.16.

The buildings will be occupied during the entire length of construction. No work is to be performed on site during Finals week for both the Fall and Spring Semesters. Please reference Project Manual Section 01 1000 1.09. The phasing of this work is to be carefully coordinated with ISU.

#### 1. Bidders List:

a.

#### 2. **Bidding Information:**

- a. The estimated cost of construction is \$500,000.00
- d. A Public Works Contractors License for the State of Idaho is required to bid on this work.

#### 3. Addenda:

- a. All addenda will be issued by the Architect, by email, at least four (4) days prior to bid opening.
- b. All verbal agreements or instructions must be confirmed by written addenda.
- c. Contractors are to bid the contract documents. Review documents carefully. Additional payments to the Contractor will not be made for items shown or specified in documents.
- d. Requests for clarification shall be in writing and received by the architect ten (10) calendar days minimum prior to bid opening.



#### 4. **Bid Opening:**

- a. Sealed bids will be accepted up to the specified time. Bidding will be closed at the exact specified time. Bids will be opened and reviewed in a meeting following the time for receipt of bids.
- b. Bids are to be submitted as outlined in the Project Manual.
- c. The bid form used will be the form provided. Faxed bids are not acceptable.
- d. The Owner reserves the right to reject any or all bids and to waive any irregularity therein.
- e. If all addenda are not acknowledged by number (1,2,3, etc.), on the bid form or if the bid form is not signed, all blanks not filled in or otherwise improperly filled out, the bid will be considered non-responsive.
- f. The bid amount is to be listed in both written and numerical form. If there is a discrepancy between the two, the written amount will be used.

#### 5. Additional Items of Discussion:

- a. No substitutions of materials or products not authorized by addendum.
- b. Proof of vaccination is not required to work on this project.
- c. For downloading documents: <a href="www.nbwarchitects.com">www.nbwarchitects.com</a>
  Click on "Current Bidding Projects"
- d. Contact NBW's office to be added to the bidders list.

#### 6. Questions

#### 7. Meeting Notes:

- a. The project is to be phased such that work is occurring on no more than two buildings at a time.
- b. A laydown area has been identified at the back of the back parking lot. This location will be highlighted in Addendum #1.
- c. The contractor is to remove all building signage and turn it over to the owner.



## **Pre-Bid Conference Sign-in Sheet**

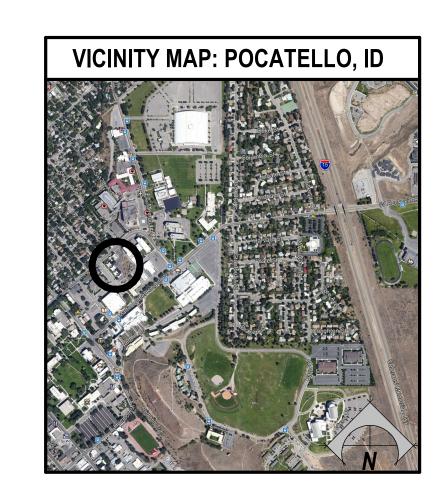
Project Name: DPW 21239 ISU Pulling Courts Siding and Window Replacement

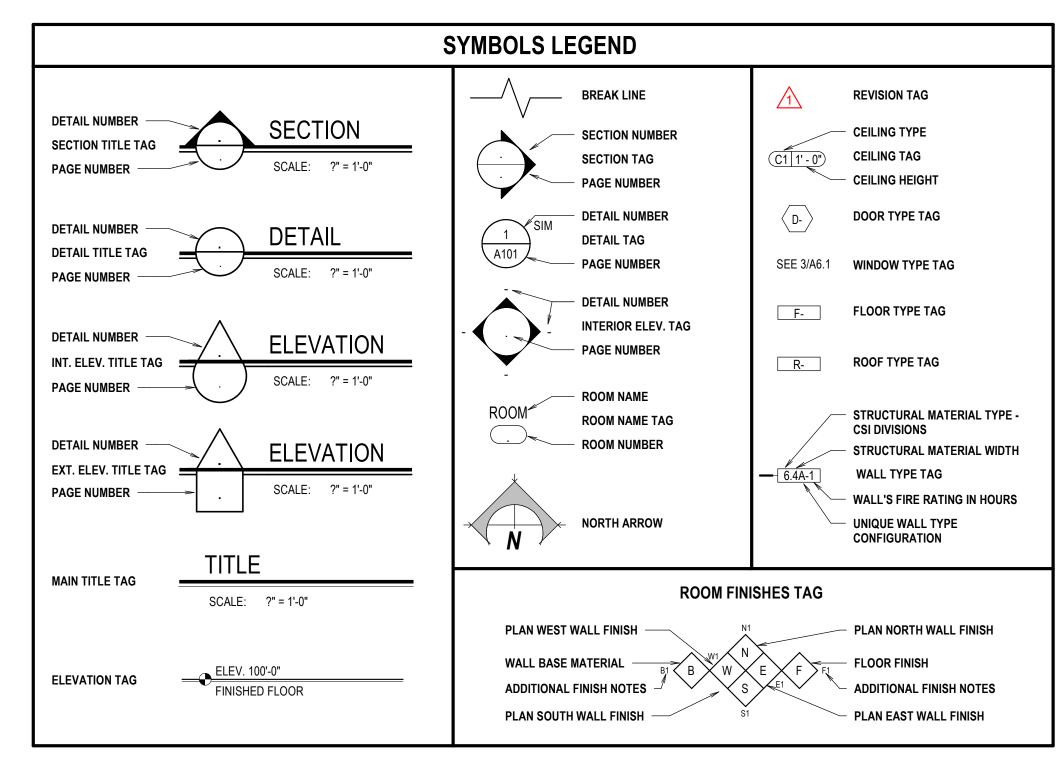
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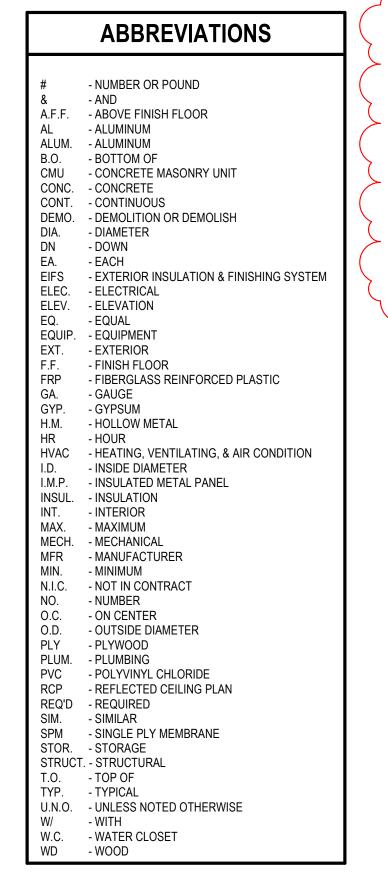


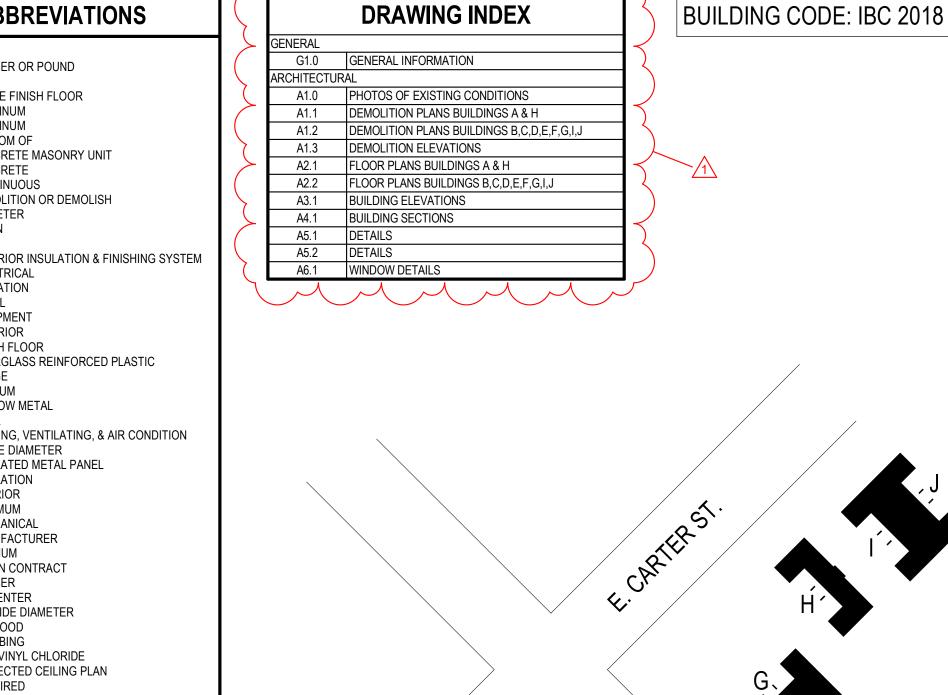
# DPW 21239 ISU: PULLING COURTS SIDING AND WINDOW REPLACEMENT

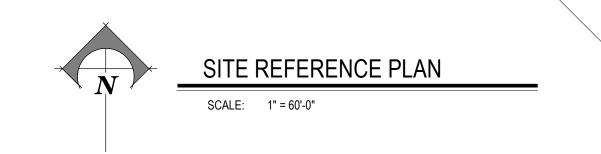
756 S. 10TH AVE POCATELLO, IDAHO 83201











): PULLING COURTS SIDING 756 S. 10TH / POCATELLO, IDAH

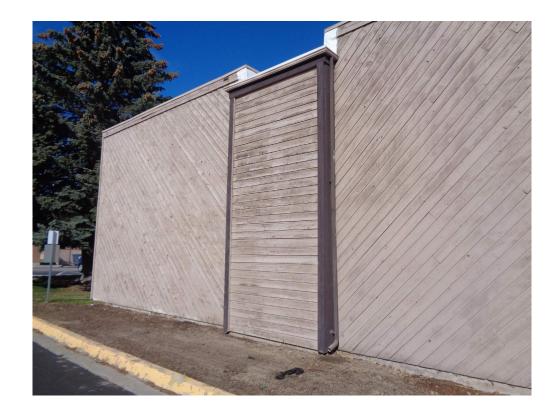
DPW 21239 ISU:

AUGUST 2021 DRAWN BY: CHECKED BY:

STAIRS AND RAILING AT BUILDING H



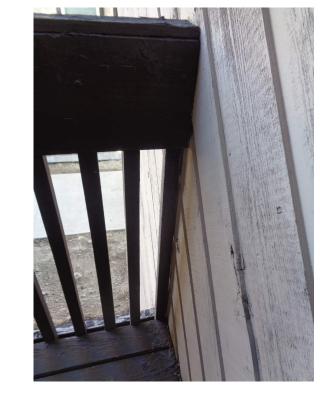
TYPICAL BUILDING FRONT ELEVATION



BACK ELEVATION BUILDING A



TYPICAL WINDOW GYPSUM SURROUND



TYPICAL DECK RAILING TO WOOD SIDING CONNECTION



TYPICAL STAIR STRINGER TO WOOD SIDING CONNECTION



TYPICAL TOP OF DECK RAILING



TYPICAL UNDER DECK/BOTTOM OF RAILING CONNECTION



TYPICAL SCUPPER



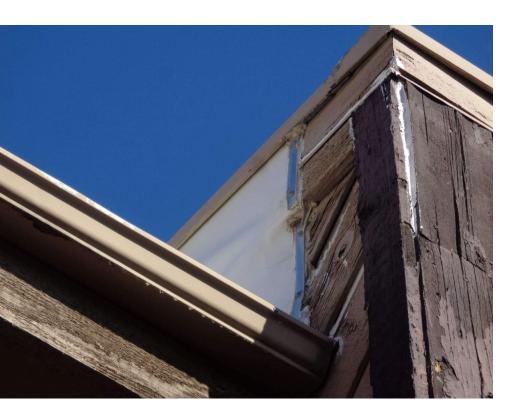
ROOF AND SIDING TRANSITION BULDINGS B AND C



ROOF AND SIDING TRANSITION BUILDINGS B AND C



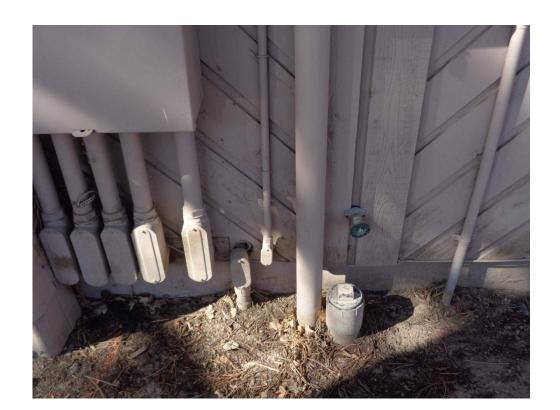
TYPICAL PARAPET CORNER



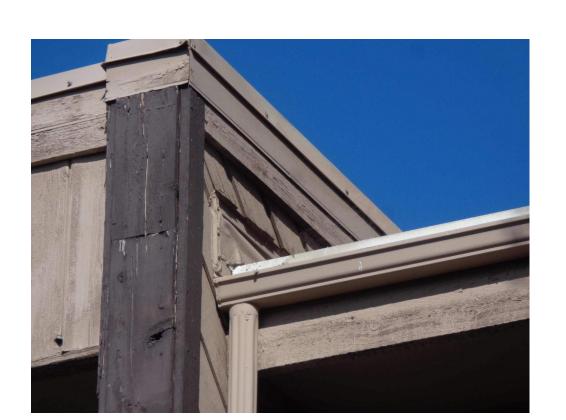
ROOF AND SIDING TRANSITION BUILDING D



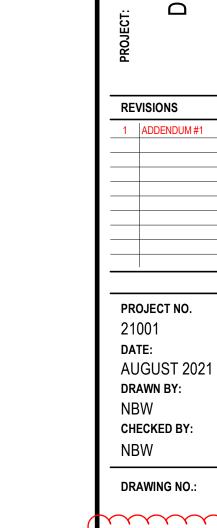
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TYPICAL UTILITIES

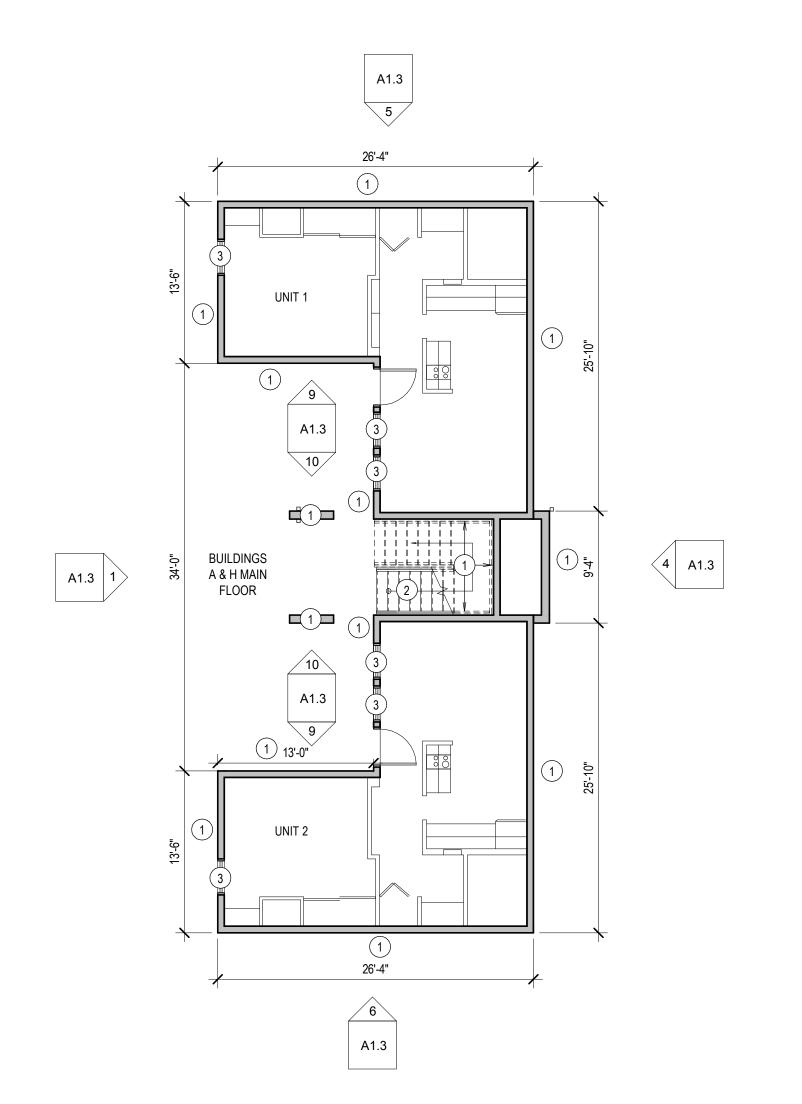


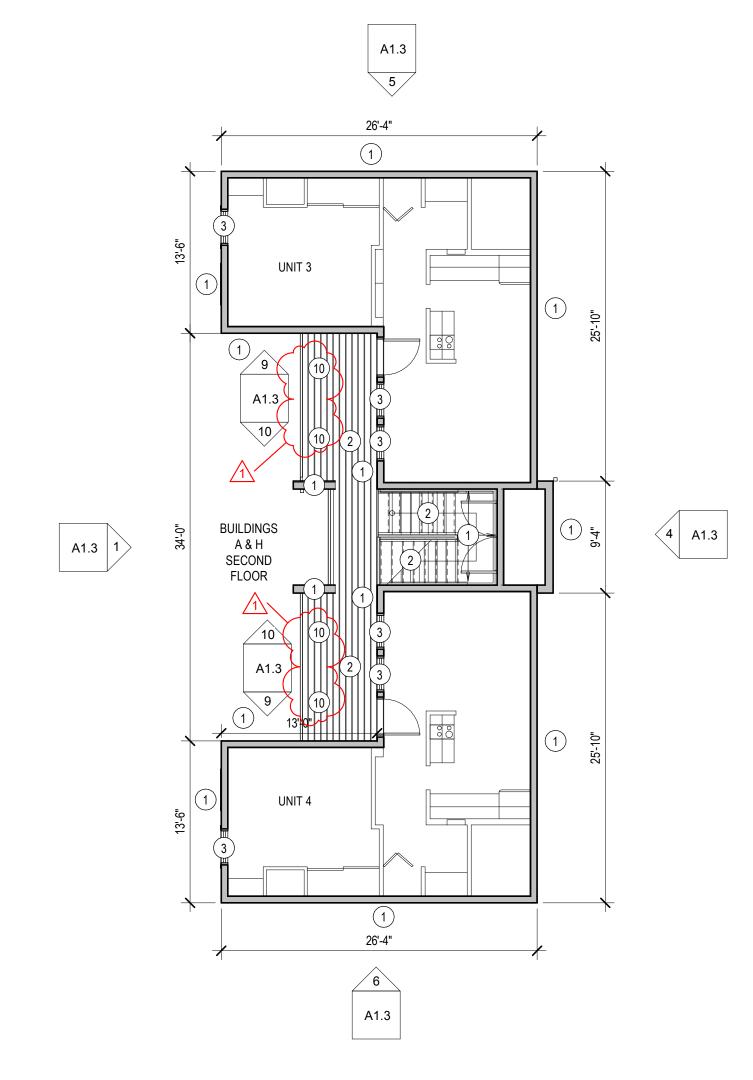
ROOF AND SIDING TRANSITION BUILDING B



AND WINDOW REPL

DPW 21239 ISU:





## **DEMOLITION GENERAL NOTES**

- CONTRACTOR SHALL RESOLVE ALL DIMENSIONAL OR OTHER DISCREPANCIES, DURING LAYOUT WITH ARCHITECT, PRIOR TO BEGINNING CONSTRUCTION.
- WORK TO BE IN ACCORDANCE WITH CODES & ACCESSIBILITY REQUIREMENTS.
- CONTRACTOR TO REMOVE ITEMS THAT ARE ATTACHED TO, OR IMPEDE THE REMOVAL OF, THE EXISTING WOOD SIDING, TRIM AND WEATHER BARRIER, WITH THE EXCEPTION OF THE STAIRS, DECK, HANDRAILS AND SOFFIT. THESE INCLUDE, BUT ARE NOT LIMITED TO; CONDUIT, VENTS, GUTTERS, DOWNSPOUTS, PIPING, HOSE BIBBS, AIR CONDITIONERS, LIGHTS, HOSE HANGERS, BUILDING SIGNAGE, MECHANICAL UNITS, ROOF CAP/DRIP EDGE, DOOR/WINDOW TRIM, SCUPPERS, CHAIN LINK FENCE POSTS, AND WIRES.
- THE AGENCY HAD A SERVICE CONTRACTOR REVIEW THE CONDITION OF THE THE EXISTING WOOD SIDING. IT WAS NOTED THAT BEHIND THE EXISTING WOOD SIDING IS BUILDING PAPER AND WOOD SHEATHING. THEREFORE IT IS ANTICIPATED THAT EXISTING BUILDING PAPER AND WOOD SHEATHING WILL BE FOUND BEHIND THE EXISTING WOOD SIDING.
- 5. USE ISOLATION TAPE BETWEEN DIS-SIMILAR METALS. DISCONNECT AND REMOVE ITEMS THAT PENETRATE THE EXISTING SIDING,

SO NEW SIDING CAN BE INSTALLED WITHOUT COMPLICATION. THIS

INCLUDES, BUT IS NOT LIMITED TO; CONDUIT, WIRING, PIPING, VENTS, HOSE

- . PENETRATIONS TO BE SEALED AND WATERPROOFED.
- REPLACE ANY EXISTING WALL SHEATHING THAT IS DAMAGED, DETERIORATED OR DESTROYED.

## **DEMOLITION KEYNOTES**

- REMOVE WOOD SIDING, TRIM AND WEATHER BARRIER. CAREFULLY REMOVE ANYTHING ATTACHED TO THE SIDING THAT IMPEDES ITS REMOVAL, WITH THE EXCEPTION OF THE STAIRS AND RAILING AND DECK.
- REMOVE WINDOW AND TRIM. REMOVE WOOD SILL ON THE INTERIOR OF WINDOW. CUT BACK AND MODIFY GYPSUM SURROUND AS NEEDED TO

RETAIN AND PROTECT EXTERIOR DECK, RAILING AND STAIRS.

- INSTALL NEW WINDOW. SEE SHEET A6.1 FOR DETAILS
- RETAIN AND PROTECT METAL RAILING AND WALL MOUNTED BRACKETS AT
- (5) REMOVE GUTTERS, DOWNSPOUTS AND SCUPPERS
- (6) REMOVE PARAPET CAPS.
- EXISTING MEMBRANE ROOFING TO BE CUT BACK AT THESE LOCATIONS TO ALLOW NEW SIDING TO BE INSTALLED. NEW MEMBRANE ROOFING TO OVERLAP EXISTING MEMBRANE ROOFING, SEE DETAILS ON SHEET A6.1
- (8) REMOVE EXISTING EXHAUST VENT CAP (9) REMOVE EXISTING WALL LOUVER
- 10) REMOVE EXISTING SOFFIT LOUVER

AND WINDOW

ARCHITECTURE/
990 JOHN RORMS PARKWAY / P.O.
(P) 208.522.8779 (F) 20

AVE AHO 83201

I: PULLING COURTS SIDING 756 S. 10TH / POCATELLO, IDAH

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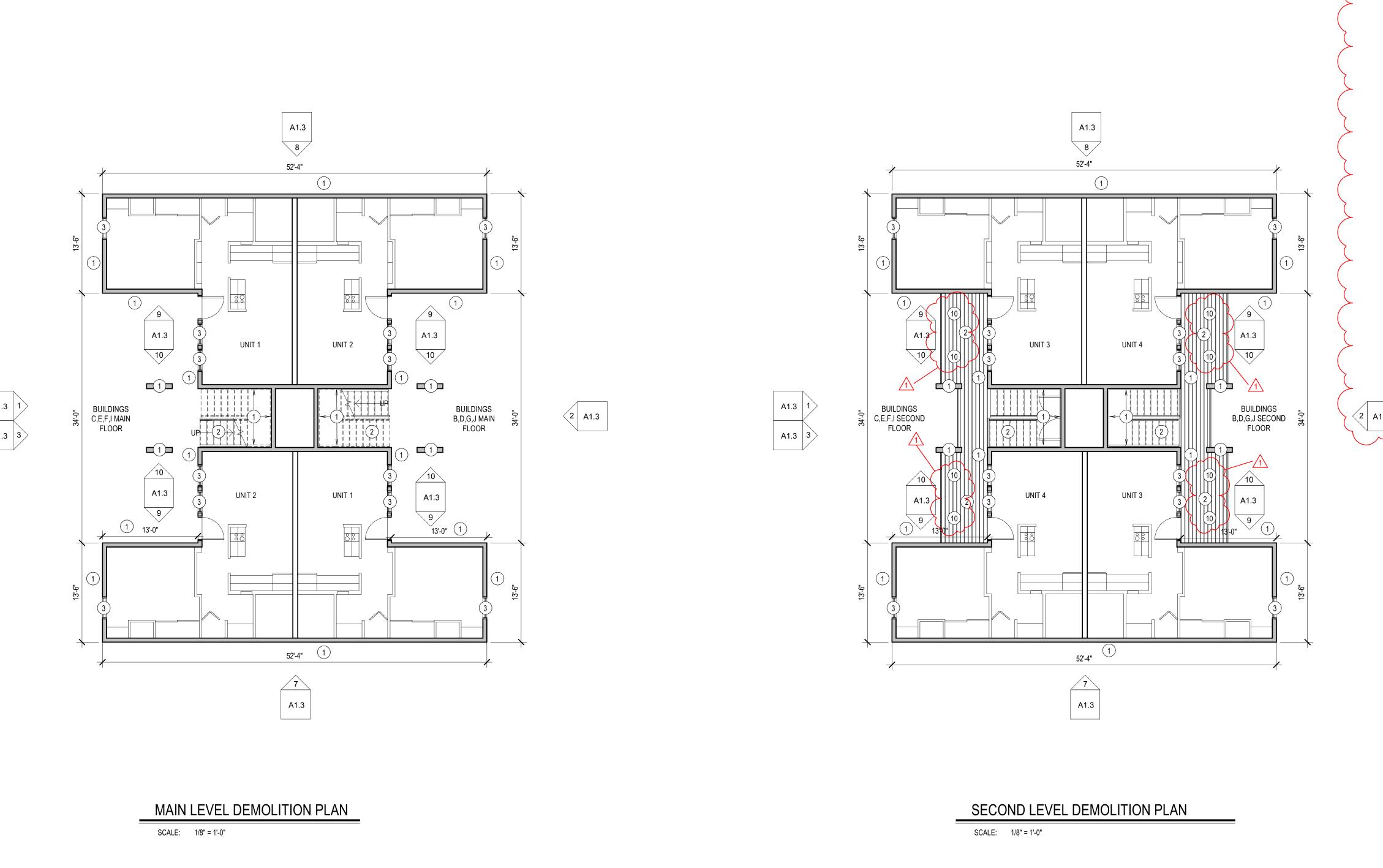
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MAIN LEVEL DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

SECOND LEVEL DEMOLITION PLAN

SCALE: 1/8" = 1'-0"



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990 JOHN ROAMS PARKWAY / P.O.

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